

AGENDA
GRANVILLE COUNTY BOARD OF COMMISSIONERS

Tuesday, January 3, 2023



Call to order @ 7:00 p.m.....Chair Russ May
Invocation and Pledge of Allegiance.....Commissioner Tony W. Cozart

Introductions, Recognitions and Presentations

1. Recognition of Service - Vickie G. Hammie (p. 3)
2. Presentation on Resolution of Support for Juvenile Crime Prevention Council (JCPC) (p. 5)

Public Comments

3. Public Comments (p. 7)

Purchasing

4. Interior Alterations for Department of Social Services, Child Support Services Offices at 143 Williamsboro Street (p. 8)

Proclamations, Resolutions and Legislative Matters for Consideration

5. Proclamations, Resolutions and Legislative Matters (p. 21)

Appointments

6. Appointment of Members to Boards, Committees, and Liaison Assignments (p. 22)
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10. Orange Street Community Center Board of Trustees (p. 28)
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Closed Session

16. Closed Session as allowed by G.S. 143-318.11(a)(4)- Economic Development (p. 34)
17. Closed Session as allowed by G. S. 143-318.11(a)(6) – Personnel (p. 35)



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 1, 2022
Title: **Recognition of Service - Vickie G. Hammie**

PURPOSE:

The Board will recognize Vickie Hammie for her years of service.

ATTACHMENTS:

Plaque-Hammie

ACTION TAKEN:

Vickie G. Hammie

Granville County Department of Social Services

January 8, 1992 – December 31, 2022

In Recognition of Outstanding Service

to

The Citizens of Granville County

Presented by

The Granville County Board of Commissioners

January 3, 2023



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 30, 2022
Title: **Presentation on Resolution of Support for Juvenile Crime Prevention Council (JCPC)**

PURPOSE:

To consider approval of the *Resolution Supporting Compression Increases for Division of Juvenile Justice and Delinquency Prevention, Detention, and Youth Development Center Staff*.

BACKGROUND:

Eddie Crews, JCPC Central Area Consultant with N.C. Department of Public Safety Division of Juvenile Justice and Delinquency Prevention, is present to request approval of the attached resolution supporting pay increases for Juvenile Justice Facility staff. Understaffed or inadequately staffed juvenile detention facilities puts everyone at risk. The Granville County Juvenile Crime Prevention Council (JCPC) supports the resolution.

FUNDING:

No county funding is required.

RECOMMENDATION:

The County Manager recommends that the Board of Commissioners adopt the attached resolution and forward it to the appropriate personnel at the state.

ATTACHMENTS:

Resolution for Consideration - JCPC

ACTION TAKEN:

**GRANVILLE COUNTY
BOARD OF COMMISSIONERS**

**RESOLUTION SUPPORTING COMPRESSION INCREASES for
DIVISION OF JUVENILE JUSTICE AND DELINQUENCY PREVENTION,
DETENTION, AND YOUTH DEVELOPMENT CENTER STAFF**

WHEREAS, the Division of Juvenile Justice and Delinquency Prevention provides short term secure confinement in Juvenile Detention Centers and long term commitment services in the State's Youth Development Centers; and

WHEREAS, the overarching mission of the Division of Juvenile Justice and Delinquency Prevention and the local Juvenile Crime Prevention Council to provide services and programming to ensure the protection of the community and rehabilitation of youth offenders; and

WHEREAS, Granville County is home to Dillon Regional Juvenile Detention Center in the city of Butner, and the staff of this facility along with other State juvenile facility staff have been passed over for pay increases that would recognize and reward the experienced staff, and make compensation more competitive as well as ensure qualified staff recruitment and retention; and

WHEREAS, Over one-quarter (26%) of JJDP positions are vacant (416 of 1,576), primarily in the areas of community supervision and case management and direct supervision of juveniles in confinement. More than half (225 or 54%) of the 416 vacancies are DJJDP facilities' positions. More than one-third (157 or 38%) of the vacancies are in juvenile court services, which provides community supervision and case management services. And

WHEREAS, Compression Salary Increases for Division of Juvenile Justice and Delinquency Prevention facility staff were removed from the state's budget prior to final approval; and

WHEREAS, similar salary adjustments or increases WERE approved for Department of Public Safety staff in adult facilities;

NOW, THEREFORE BE IT RESOLVED, that Granville County Commissioners support the adequate and timely increase of the salaries of juvenile facility staff in Granville County and across the State of North Carolina to make those positions competitive and to ensure qualified staff are compensated adequately for years of experience for the purposes of retention, as well as lay the groundwork for recruitment of qualified staff for youth facilities which will ensure the immediate and ongoing protection of the community and strengthen rehabilitative services for those juveniles most in need.

Adopted this _____ day of _____, 2022.

Chairman, Granville County Board of Commissioners

Clerk to the Board of County Commissioners



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 19, 2022
Title: **Public Comments**

PURPOSE:

Public comments are limited to 3 minutes.

ACTION TAKEN:



Granville County Development Services

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Scott Phillips, Development Services Director
Department: Development Services
Date: January 3, 2023
Title: **Interior Alterations for Department of Social Services, Child Support Services Offices at 143 Williamsboro Street**

PURPOSE:

This request is to consider awarding a lump-sum construction contract for the necessary interior improvements needed for relocation of the Granville County DSS Child Support Services Offices.

BACKGROUND:

The existing space of the former Sherriff's Office, located at 143 Williamsboro Street, has been allocated for Granville County DSS Child Support Services offices. This relocation has been planned and needed to accommodate ADA accessibility and to vacate 122 Williamsboro Street which is scheduled for demolition within the next 5 years.

To facilitate this move, and to determine the needed functional improvements of the space, Stephen Baxter Architect was retained to meet with DSS staff and produce the construction documents needed for contractor pricing.

The work included within the construction documents includes minor modifications necessary for the functional needs of the department, new flooring, wall, and ceiling finishes, as well as additional electrical infrastructure. Additional data and communication infrastructure will be provided by the County during the construction process.

Sealed bids for the work were received on December 19, 2022, with the following results.

- | | | |
|----|---|-----------|
| 1. | Vance Construction Company / Henderson NC | \$159,667 |
| 2. | Focus Design Builder / Youngsville NC | \$177,410 |
| 3. | HG Reynolds Company / Henderson NC | \$205,000 |

This request complies Section II, Informal Bids (NCGS 143-131) of the County's Contract and Purchasing Policy.

FUNDING:

The fiscal year 2022-2023 budget can facilitate this request. Funding level requested for this project is \$200,000.

RECOMMENDATION:

After review of the bids, and meeting with the lower bidder, the Development Services Director is satisfied that the received bid is responsive and recommends awarding a lump sum construction

contract to Vance Construction Company for a fee not to exceed \$159,667 unless authorized by change order.

ATTACHMENTS:

VANCE CNST BID PROPOSAL

FULL SET

ADVERTISEMENT

ACTION TAKEN:

FORM OF PROPOSAL

Interior alterations for the proposed new location of the Granville County Department of Social Services, Child Services office, Oxford, NC

Contract: General Construction

Bidder: Vance Construction Company

Date: December 19, 2022

The undersigned, as bidder, hereby declares that the only person or persons interested in this proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud. The bidder further declares that he has examined the site of the work and the contract documents relative thereto, and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed. The bidder further declares that he and his subcontractors have fully complied with NCGS 64, Article 2 in regards to E-Verification as required by Section 2.(c) of Session Law 2013-418, codified as N.C. Gen. Stat. § 143-129(j).

The Bidder proposes and agrees if this proposal is accepted to contract with Granville County in the form of contract specified below, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary to complete interior alterations for the proposed new location of the Granville County Department of Social Services, Child Services office, Oxford, NC in full in complete accordance with the plans, project manual and contract documents, to the full and entire satisfaction of Granville County. The Bidder submits this bid with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and the contract documents, for the sum of:

SINGLE PRIME CONTRACT:

Base Bid:

One Hundred Fifty-Nine Thousand Six Hundred Sixty-Seven -----Dollars(\$) 159,667.00**

General Subcontractor:

Vance Construction Company Lic 6124

Plumbing Subcontractor:

N/A Lic _____

Mechanical Subcontractor:

N/A Lic _____

Electrical Subcontractor:

Brian Lassiter Electric Lic U32333

GS143-128(d) requires all single prime bidders to identify their subcontractors for the above subdivisions of work. A contractor whose bid is accepted shall not substitute any person as subcontractor in the place of the subcontractor listed in the original bid, except (i) if the listed subcontractor's bid is later determined by the contractor to be non-responsible or non-responsive or the listed subcontractor refuses to enter into a contract for the complete performance of the bid work, or (ii) with the approval of the awarding authority for good cause shown by the contractor.

Proposal Signature Page

The undersigned further agrees that in the case of failure on his part to execute the said contract and the bonds within ten (10) consecutive calendar days after being given written notice of the award of contract, the certified check, cash or bid bond accompanying this bid shall be paid into the funds of the owner's account set aside for the project, as liquidated damages for such failure; otherwise the certified check, cash or bid bond accompanying this proposal shall be returned to the undersigned.

Respectfully submitted this day of Nineteenth of December 2022

Vance Construction Company

(Name of firm or corporation making bid)

WITNESS:

(Proprietorship or Partnership)

By: 

Signature

Name: Robert C. Kemp, Jr.

Print or type

Title President

(Owner/Partner/Pres./V.Pres)

Address 4197 Raleigh Road - Suite C

Henderson, NC 27537

ATTEST:

By: 

Title: Assistant Secretary

(Corp. Sec. or Asst. Sec. only)

License No. 6124

Federal I.D. No. 56-1000262

Email Address: bkemp@vanceconstruction.net

(CORPORATE SEAL)

Addendum received and used in computing bid:

Addendum No. 1 X Addendum No. 3 Addendum No. 5 Addendum No. 6

Addendum No. 2 Addendum No. 4 Addendum No. 6 Addendum No. 7

Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid

GRANVILLE COUNTY AFFIDAVIT A – Listing of Good Faith Efforts

County of GRANVILLE

(Name of Bidder)

Affidavit of Vance Construction Company

I have made a good faith effort to comply under the following areas checked:

Bidders must earn at least 50 points from the good faith efforts listed for their bid to be considered responsive. (1 NC Administrative Code 30 I.0101)

- ☒ 1 – (10 pts) Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- ☒ 2 --(10 pts) Made the construction plans, specifications and requirements available for review by prospective minority businesses, or providing these documents to them at least 10 days before the bids are due.
- ☒ 3 – (15 pts) Broken down or combined elements of work into economically feasible units to facilitate minority participation.
- ☐ 4 – (10 pts) Worked with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the bid documents that provide assistance in recruitment of minority businesses.
- ☒ 5 – (10 pts) Attended prebid meetings scheduled by the public owner.
- ☐ 6 – (20 pts) Provided assistance in getting required bonding or insurance or provided alternatives to bonding or insurance for subcontractors.
- ☐ 7 – (15 pts) Negotiated in good faith with interested minority businesses and did not reject them as unqualified without sound reasons based on their capabilities. Any rejection of a minority business based on lack of qualification should have the reasons documented in writing.
- ☐ 8 – (25 pts) Provided assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily required. Assisted minority businesses in obtaining the same unit pricing with the bidder's suppliers in order to help minority businesses in establishing credit.
- ☐ 9 – (20 pts) Negotiated joint venture and partnership arrangements with minority businesses in order to increase opportunities for minority business participation on a public construction or repair project when possible.
- ☒ 10 - (20 pts) Provided quick pay agreements and policies to enable minority contractors and suppliers to meet cash-flow demands.

The undersigned, if apparent low bidder, will enter into a formal agreement with the firms listed in the Identification of Minority Business Participation schedule conditional upon scope of contract to be executed with the Owner. Substitution of contractors must be in accordance with GS143-128.2(d) Failure to abide by this statutory provision will constitute a breach of the contract.

The undersigned hereby certifies that he or she has read the terms of the minority business commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: 12-19-22

Name of Authorized Officer: George N. Pope

Signature: *George N. Pope*

Title: Vice President



State of NC

County of Vance

Subscribed and sworn to before me this 19th day of December 2022

Notary Public *Sherry K Stokes*

My commission expires 07-27-2025

I, Vance Construction Company
(Name of Bidder)

do hereby certify that on this project, we will use the following HUB Certified/ minority business as construction subcontractors, vendors, suppliers or providers of professional services.

Firm Name, Address and Phone #

Work Type

*Minority
Category

**HUB
Certified
(Y/N)

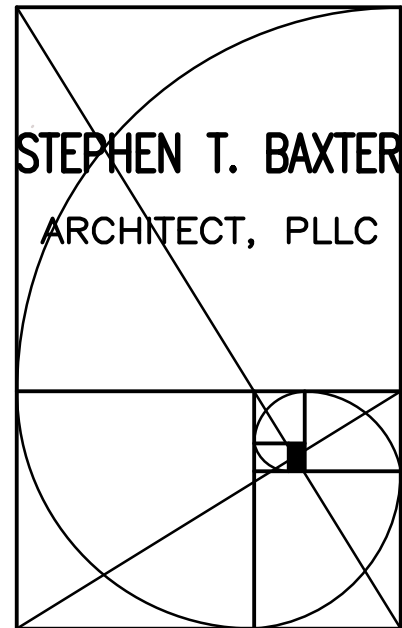
[illegible]

*Minority categories: Black, African American (B), Hispanic (H), Asian American (A) American Indian (I), Female (F) Socially and Economically Disadvantaged (D)

**** HUB Certification with the state HUB Office required to be counted toward state participation goals.**

The total value of minority business contracting will be (\$) 0.00

GRANVILLE COUNTY
DSS CHILD SERVICES
INTERIOR ALTERATION
143 Williamsboro Street, Oxford, NC 27565

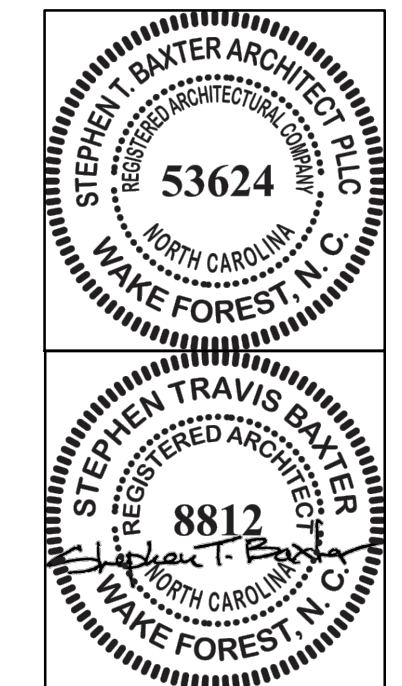


8133 Holly Forest Road
Wake Forest, North Carolina 27587
Phone: (919) 819-1536

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Architect, PLLC.
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All drawings and copies thereof are instruments of service and as such remain the property of STEPHEN T. BAXTER Architect, PLLC. They are produced for one-time use only with respect to this project. STEPHEN T. BAXTER Architect, PLLC reserves the right to use these plans at its own discretion. Approval from a licensed building inspector and/or licensed engineer will be the responsibility of the consumer if required. Nominal dimensions may be used. Do not scale drawings.

Sepia



Sealed Date: 10/28/22

GENERAL NOTES

SECTION A - GENERAL NOTES

1. ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT, AND ALL APPLICABLE CITY, STATE, FEDERAL RULES AND REGULATIONS. ANYTHING SHOWN ON THESE DRAWINGS NOT IN ACCORDANCE WITH THE RULES USED IN THESE NOTES, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH ANY WORK
2. WHERE THE TERMS "APPROVED EQUAL", "EQUAL TO", OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF THE ARCHITECT.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO BEGINNING THE WORK AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.
4. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ARE FROM CENTER LINE TO CENTER LINE, CENTERLINE TO FACE OF WALL, OR FACE OF WALL TO FACE OF WALL. DO NOT SCALE DRAWINGS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND WORK WITH ALL TRADES, INCLUDING THOSE PROVIDED AND DIRECTED BY THE OWNER.
6. ALL NEW MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH ANY REQUIREMENTS.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THE SUB-CONTRACTOR'S ARE BIDDING FROM A COMPLETE SET OF DRAWINGS. NO ADDS WILL BE APPROVED. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE BETWEEN ALL DRAWINGS.

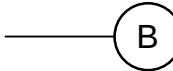
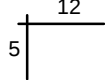
SECTION B - CONSTRUCTION, QUALITY & WORKMANSHIP

3. ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY BOTH. IF ANY WORK SHOULD BE DEFERRED, THE CONTRACTOR SHALL BE SET TO DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
4. ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. MECHANICAL AND ELECTRICAL FIXTURES, SUCH AS VENTS, EXHAUST FANS, EXHAUST FAN CURTAINS, AND EXHAUST FAN CURTAINS, ARE FOR LOCATION INFORMATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL MECHANICAL AND ELECTRICAL BEFORE THE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECT AND CONSULTING ENGINEER'S DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY WHEN NOTICED. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWING SHALL BE RECTIFIED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO EXPENSE TO THE OWNER.
5. THE GENERAL CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO COMPLETE THE EXISTING AND NEW CONSTRUCTION OF THE PROJECT ACCORDING TO THE PLANS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL VERIFY ALL REQUIREMENTS FOR EXACT SIZE AND QUANTITY OF EQUIPMENT FURNISHED, INCLUDING THE REQUIREMENTS FOR CHEMICALS AND ELECTRICAL SERVICES, AND BE RESPONSIBLE FOR ALL ROUGH-IN CONNECTIONS.
6. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO PROVIDE THE BEST QUALITY OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE THROUGHOUT ALL ERRORS, OMISSIONS, AND CLARIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ANY REQUEST FOR INFORMATION REQUESTED AFTER THE BID PHASE WILL BE ADDRESSED AS AN ARCHITECT'S SUPPLEMENTAL INFORMATION, WITH NO EXTENSION OF TIME OR MONEY.
7. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
8. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS IMMEDIATELY UPON DISCOVERY AND BEFORE ANY WORK IS BEGUN.
9. THE GENERAL CONTRACTOR AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, INFERIOR WORKSMANSHIP OR DEFERRED, IMPROPER, OR INCOMPLETE WORK, OR ANY INQUIRY OR ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREOF.
10. WHERE NEW EQUIPMENT IS BEING INSTALLED, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING BLOCKING IN WALLS AS REQUIRED BY THE EQUIPMENT MANUFACTURER.
11. ALL FLASHINGS SHALL BE DONE IN STRICT ACCORDANCE WITH THE FLASHING MANUFACTURER'S PUBLISHED INSTRUCTIONS. FLASHINGS SHALL NOT INCLUDE AN AMOUNT OF OVERLAP AND INSTALLATION OF DRIP EDGES, IF REQUIRED.
12. ALL FIRE-RATED WALLS SHALL BE PERMANENTLY IDENTIFIED PER NC STATE BUILDING CODE. SIGNS OR STENCILS SHALL BE 6" MIN. IN HEIGHT WITH RED LETTERING, WORDING TO BE "1-HOUR RATED WALL, PROTECT ALL OPENINGS" OR SIMILAR.

ABBREVIATIONS

AC	AIR CONDITIONING	JM.	JOINT
ACT	ACOUSTICAL CEILING TILE	LAM	LAMINATE
ADJ	ADJUSTABLE/ADJACENT	LTG	LIGHTING
A.F.F.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ALUM.	ALUMINUM	MCJ	MASONRY CONTROL JOINT
AN.	AND	MOF	MEDIUM DENSITY FIBERBOARD
ANOD.	ANODIZED	MECH.	MECHANICAL
APPROX.	APPROXIMATELY	MED	MEDIUM
ARCH.	ARCHITECTURAL	MANUF.	MANUFACTURER
@	AT	MISC.	MISCELLANEOUS
B.LDG.	BUILDING	M.O.	MASONRY OPENING
BLK/G	BLOCKING	MTD.	MOUNTED
CAB	CABINET	N.TL.	MATERIAL
CLR	CLEAR	N/A	NOT APPLICABLE
CLG	CEILING	N.I.C.	NOT IN CONTRACT
C.	CENTERLINE	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NOT TO SCALE	
C.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OPNG.	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONTN.	CONTINUOUS	PL	PLATE
CONTR	CONTRACTOR	P-LAM	PLASTIC LAMINATE
COORD	COORDINATE	PLWD	PLYWOOD
CPT	CARPET	PR.	PAIR
DTL	DETAIL	PT	POINT
DIA.	DIAMETER	R	RADIUS
DIM.	DIMENSION	REF.	REFRIGERATOR
DWG.	DRAWING	REINFG	REINFORCING
EA.	EACH	REQ'D	REQUIRED
EL.	ELEVATION (HEIGHT)	REV	REVISION
ELEC	ELECTRIC	R.O.	ROUGH OPENING
ELEV.	ELEVATION (VIEW)	SCHED	SCHEDULE
EN	ENAMEL	SCW	SOLID CORE WOOD
EQ	EQUAL	SD	SOAP DISPENSER
EXIST.	EXISTING	SEAL	SEALANT
FB	FLAT BAR	SECT	SECTION
F.E.	FIRE EXTINGUISHER	SHT	SHEET
FIN.	FINISH	SIM	SIMILAR
FLR	FLOOR	SM	SHEET METAL
FLUOR	FLUORESCENT	STRUCT.	STRUCTURAL
F.R.T.	FIRE RETARDANT TREATED	SQ.	SQUARE
FT	FOOT / FEET	STD.	STANDARD
FURN	FURNISH	STL.	STEEL
GA.	GAUGE	STOR.	STORAGE
GALV.	GALVANIZED	SUSP	SUSPENDED
G.C.	GENERAL CONTRACTOR	TEL	TELEPHONE
GYP. BD.	GYPSSUM WALL BOARD	TEMP	TEMPERATURE
HCW	HOLLOW CORE WOOD	TPH	TOILET PAPER HOLDER
HDW	HARDWARE	TYP.	TYPICAL
HDR	HORIZONTAL	U.O.N.	UNLESS OTHERWISE NOTED
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HT	HEIGHT	VERT.	VERTICAL
HVAC	HEATING, VENTILATING, AIR CONDITIONING	W/	WITH / WATT / WIDTH
IN.	INCH	W/O	WITHOUT
INCL	INCLUDE	WC	WATER CLOSET
INSUL.	INSULATION	WD.	WOOD
INSTL.	INSTALLATION	WR	WASTE RECEPTACLE

SYMBOLS

	BRICK MASONRY WALL		ROOM NUMBER
	CMU WALL		DATUM INDICATOR
	STUD WALL		FIRE EXTINGUISHER
	DOOR NUMBER		WALL HUNG WATER CLOSET
	WINDOW MARK		TANK TYPE WATER CLOSET
	SECTION No. SHEET No. SECTION INDICATOR		HI-LO E.W.C. (ELEC. WATER COOLER)
	DETAIL No. DETAIL INDICATOR SHEET No.		WALL-MOUNTED LAVATORY
	GRID / COLUMN LINE		COUNTER-MOUNT LAVATORY
	REVISION INDICATOR		N NORTH INDICATOR
	DET. No. INTERIOR ELEVATION INDICATORS SHEET No.		SLOPE INDICATOR
	SHEET No. DET. No.		

DESIGN TEAM

ARCHITECT:

Stephen T. Baxter, Architect PLLC
8133 Holly Forest Road
Wake Forest, North Carolina 27587
Ph.: (919) 819-1536; STBaxter.ARCH@outlook.com

SHEET INDEX:

T-1	Cover Sheet
T-2	Code Summary Sheet

Architectural:

D-1	Existing Conditions & Demolition Plan
A-1	Proposed Floor Plan
A-2	Enlarged Plan & Details

Electrical:
E-1 Electrical Plan

1	1		
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10	10		

No.	Revision	Date
F	For Permitting & Construction	10/28/2021
E	Design Development	10/19/2020
D	Design Development	10/08/2020
C	Design Development	09/30/2020
B	Design Development	09/25/2020
A	Existing Conditions	09/07/2020
No.	Issued	Date

XXXXT-1.dwg XXXX

File Name: Drawn E

Granville County
GRANVILLE COUNTY
DSS CHILD SERVICES
INTERIOR ALTERATION
 143 Williamsboro St., Oxford, NC 27565

Sheet Title
COVER SHEET

Project No.

Scale

22030 AS NOTED

Revision _____ Drawing No. _____

- T-1

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Granville County DSS Child Services Interior Alteration
Address: 143 Williamsboro Street, Oxford, NC
Owner/Authorized Agent: Stephen Baxter
Owned By: County
Code Enforcement Jurisdiction: County

CONTACT: Stephen T. Baxter, Architect PLLC
DESIGNER: FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural Stephen T. Baxter, Arch. Stephen Baxter 8812 (919) 819-1536
Civil
Electrical
Fire Alarm
Plumbing
Mechanical
Sprinkler-Standpipe
Structural
Retaining Walls >5' High
Other

2018 NC BUILDING CODE: Select one
2018 NC EXISTING BUILDING CODE: Alteration Level I N/A N/A
CONSTRUCTED: (date) CURRENT OCCUPANCY(S) (Ch. 3): B
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3): B

OCCUPANCY CATEGORY (Table 1604.5): Current: II Proposed: II

BASIC BUILDING DATA
Construction Type: II-B
Sprinklers: No N/A
Standpipes: No
Primary Fire District: Yes
Special Inspections Required: No

Gross Building Area Table

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine			
1 st Floor		3,308 Alt. Area	
Basement			
TOTAL		3,308 Alt. Area	

ALLOWABLE AREA

Primary Occupancy Classification(s): Business N/A N/A N/A N/A N/A
Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 – List Code Sections):
Special Provisions: (Chapter 5 – List Code Sections):
Mixed Occupancy: No Separation: Select one Exception: No
No
Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy B
≤ 1
≤ 1.00

STORY NO. DESCRIPTION AND USE BLDG AREA PER STORY (ACTUAL) (A) TABLE 506.2* AREA (B) AREA FOR FRONTAGE INCREASED^{1,2} (C) ALLOWABLE AREA PER STORY OR UNLIMITED³ (D)

1	Business	Existing	23,000		23,000

¹ Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase $I_P = 100 [F/P - 0.25] \times W/30 =$ (%)
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.5.1.
⁵ Frontage increase is based on the unspinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55	Existing	
Building Height in Stories (Table 504.4)	3	1	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one
Exempt Building: Select one Provide code or statutory reference:
Climate Zone: Select one
Method of Compliance: Select one
(If "Other" specify source here) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description:
U-V
R-V
Skylit
total s
... assembly: _____

Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:

Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:

Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:

Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Wind (Iw) Select one
Snow (Is) Select one
Seismic (Is) Select one
Live Loads: Roof _____ psf
Mezzanine
Floor
Ground
Wind
NO NEW STRUCTURAL LOADS ARE IMPOSED ON EXISTING SYSTEM

SEISMIC DESIGN
Provide the following parameters:
Occupancy Category (Table 1604.5) Select one
Spectral Response Acceleration S_e _____ %g S₁ _____ %g
Site Classification (ASCE 7) Select one
Data Source: Select one
Basic structural system Select one
Analysis Procedure: Select one
Architectural, Mechanical, Components anchored? Select one

LATERAL DESIGN CONTROL: Select one

SOIL BEARING CAPACITIES:
Select one psf
Pile size, type, and capacity

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0					
Bearing Walls		0					
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions		0					
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction							
Including supporting beams and joists		0					
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists		0					
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit		n/a					
Shaft Enclosures - Other		n/a					
Corridor Separation		n/a					
Occupancy Fire Barrier Separation		n/a					
Party/Fire Wall Separation		n/a					
Smoke Barrier Separation		n/a					
Smoke Partition		n/a					
Tenant/Dwelling Unit/ Sleeping Unit Separation		n/a					
Incidental Use Separation		n/a					

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
Existing to Remain			

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: No
Smoke Detection Systems: No
Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: Sheet T-2
☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☐ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☒ Clear exit widths for each exit door
☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☒ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☒ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

OCCUPANT LOAD AND EXIT WIDTH
THIS SECTION REQUIRED FOR ALL PROJECTS

USE GROUP AND/OR SPACE DESIGNATION	(a) AREA ¹ SQ. FT.	(b) AREA ¹ PER OCCU- PANT	(a÷b) NUMBER OF OCCU- PANTS	(c) EGRESS WIDTH PER OCCUPANT (TABLE 1005.1)		EXIT WIDTH (in) ^{2,3,4,5}			
				STAIR	LEVEL	STAIR	LEVEL		
Business	3,308	100	33	n/a	2"	n/a	6.6"	n/a	72", 36"
Total # of Occupants			33						

¹ See Table 1004.1.1 to determine whether net or gross area is applicable.
² Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1.1)
³ Minimum width of exit passageway (Section 1021.2)
⁴ The loss of 1 means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
⁵ Assembly occupancies (Section 1025)

ASSEMBLY OCCUPANCY INFORMATION
THIS SECTION FOR ASSEMBLY USE AREA(S)

Space Description	Area - SF	Occupant Load Factor	Occupant Load	Exit Width	Exit Quantity
TOTAL					

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)

USE	WATERCLOSETS		URINALS	LAVATORIES		SHOWERS/ TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE		MALE	FEMALE		REGULAR	ACCESSIBLE
Group B Occup Load Ratio	17	17		17	17		33	
Fixtures Required	1:25	1:25		1:40	1:40		1:100	
Fixtures Required								
Fixtures Provided	Exist.	To	Remain					

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

D3 LIFE SAFETY PLAN
T-2 SCALE: NONE

8133 Holly Forest Road
Wake Forest, North Carolina 27587
Phone: (919) 819-1536

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discretion. Approval from a licensed building
inspector and/or licensed engineer will be the
responsibility of the consumer. If required. Nominal
dimensions may be used. Do not scale drawings.

Sealed Date: 10/28/22
Consultants

No.	Revision	Date
F	For Permitting & Construction	10/28/2022
E	Design Development	10/19/2022
D	Design Development	10/09/2022
C	Design Development	09/30/2022
B	Design Development	09/25/2022
A	Existing Conditions	09/07/2022

T-2.dwg STB
File Name: Drawn By

Client/ Project

Granville County
GRANVILLE COUNTY
DSS CHILD SERVICES
INTERIOR ALTERATION
143 Williamsboro St., Oxford, NC 27565

Sheet Title
CODE SUMMARY

Project No. 22030
Revision
Scale AS NOTED
Drawing No. T-2

1. EXISTING WORK IS INDICATED IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION AND SHALL BE CHECKED IN THE FIELD BY EACH SUBCONTRACTOR. AS DEMOLITION PROCEEDS, CAREFUL MEASUREMENTS SHALL BE MADE OF ALL WORK UNCOVERED TO WHICH NEW WORK MUST FIT, AND SHOP DRAWINGS FOR ALL FABRICATED MATERIALS SHALL BE COORDINATED WITH INFORMATION SO OBTAINED. NO EXTRA COSTS WILL BE ALLOWED FOR PREFABRICATION OF ANY MATERIALS WHICH ARE INCORRECTLY FABRICATED WITHOUT SUCH COORDINATION.
2. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PROTECTIONS AS REQUIRED BY GOVERNING AUTHORITIES, AND SHALL PROVIDE AND MAINTAIN PERMANENT OR TEMPORARY COVERED PASSAGEWAYS, BARRICADES OR OTHER STRUCTURES AS REQUIRED BY LAW OR AS REQUIRED IN ORDER TO PROTECT THE PUBLIC.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL OBSTRUCTIONS IN THE AREAS OF CONSTRUCTION, UNLESS SPECIFIED TO BE REMOVED BY OTHERS.
4. THE GENERAL CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVE GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL SHORE AND/OR UNDERPIN EXISTING WORK AS REQUIRED TO SAFELY INSTALL NEW WORK. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR & NO ACT, DIRECTION OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL CHANGE OR AFFECT THE CONTRACTOR'S RESPONSIBILITY IN THIS MATTER.
6. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE & REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
7. ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE & LOCAL CODES & REGULATORY AGENCIES HAVING JURISDICTION IN THIS AREA.
8. ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.

DEMOLITION, REMOVAL AND ALTERATION WORK SHALL BE AS SHOWN ON THE DRAWINGS. PERFORM SUCH WORK REQUIRED WITH DUE CARE, INCLUDING SHORING AND BRACING REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION, AND NEW WORK IN ACCORDANCE WITH APPLICABLE TECHNICAL REQUIREMENTS OF THE SPECIFICATIONS.

1. EXISTING WORK IS INDICATED IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION AND SHALL BE CHECKED IN THE FIELD BY EACH SUBCONTRACTOR. AS DEMOLITION PROCEEDS, CAREFUL MEASUREMENTS SHALL BE MADE OF ALL WORK UNCOVERED TO WHICH NEW WORK MUST FIT, AND SHOP DRAWINGS FOR ALL FABRICATED MATERIALS SHALL BE COORDINATED WITH INFORMATION SO OBTAINED. NO EXTRA COSTS WILL BE ALLOWED FOR PREFABRICATION OF ANY MATERIALS WHICH ARE INCORRECTLY FABRICATED WITHOUT SUCH COORDINATION.
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3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL OBSTRUCTIONS IN THE AREAS OF CONSTRUCTION, UNLESS SPECIFIED TO BE REMOVED BY OTHERS.
4. THE GENERAL CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASSURE PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL SHORE AND/OR UNDERPIN EXISTING WORK AS REQUIRED TO SAFELY INSTALL NEW WORK. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL CHANGE OR AFFECT THE CONTRACTOR'S RESPONSIBILITY IN THIS MATTER.
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7. ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE & LOCAL CODES & REGULATORY AGENCIES HAVING JURISDICTION IN THIS AREA.
8. ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
9. DEMOLITION, REMOVAL AND ALTERATION WORK SHALL BE AS SHOWN ON THE DRAWINGS. PERFORM SUCH WORK REQUIRED WITH DUE CARE, INCLUDING SHORING AND BRACING REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION, AND NEW WORK IN ACCORDANCE WITH APPLICABLE TECHNICAL REQUIREMENTS OF THE SPECIFICATIONS.

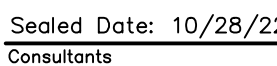
A	REMOVE EXISTING ACOUSTIC CEILING TILE & BATT INSULATION FROM WORK AREA. EXISTING GRID TO REMAIN.
B	REMOVE EXISTING CARPET & COVE BASE FROM WORK AREA. EXISTING VCT TO REMAIN.
C	REMOVE EXISTING DOOR AND HARDWARE. EXISTING FRAME TO BE RE-USED.
D	REMOVE EXISTING DOOR, FRAME & HARDWARE.
E	DEACTIVATE EXISTING ACCESS CONTROL. EXISTING DOOR TO REMAIN.
F	REMOVED EXISTING RECEPTION WINDOW & WOOD TRIM.
G	REMOVED ALL EXISTING WALL MOUNTED ITEMS, MAIL SLOTS, SCREWS, ETC. PATCH HOLES IN PARTITIONS TO REMAIN.
H	REMOVE EXISTING POWER POLE. TERMINATE WIRE TO NEW JUNCTION BOX ABOVE CEILING.
I	REMOVED ELECTRICAL TROUGH. TERMINATE WIRE TO PANEL.
J	REMOVE RECEPTACLES & DATA BOXES ON THIS WALL. TERMINATE TO SOURCE.
K	REMOVE RECEPTACLE. TERMINATE TO SOURCE.
L	REMOVE LIGHT SWITCH FOR RELOCATION.
M	REMOVE EXIT SIGN. TERMINATE TO SOURCE FOR NEW EXIT SIGN.
N	REMOVE EXISTING RACO PARTITIONS WHERE INDICATED ON DEMOLITION PLAN. REMOVE SWITCHES & RECEPTACLES TO JUNCTION BOXES.
O	REMOVE EXISTING MOP SINK. CAP LINES FLUSH TO WALL/FLOOR.
P	REMOVE EXISTING DRINKING FOUNTAIN. CAP LINES FLUSH TO WALL/FLOOR.
Q	REMOVE EXISTING PARTITION TO EXTENT SHOWN ON DEMOLITION PLAN. REMOVE RECEPTACLES TO JUNCTION BOXES.

1. - - - - - INDICATES THE LIMITS OF THE PROJECT WORK AREA.

2. ===== INDICATES NEW 3 1/2" 25 GA. METAL STUD WALLS W/ 5/8" GYP.BD. EACH SIDE,
STUDS @ 16" O.C. W/ SOUND BATT INSULATION TO CEILING.

3. ===== INDICATES EXISTING ELEMENTS TO REMAIN.

- - - - - INDICATED ELEMENTS TO BE REMOVED.



Revision _____ Drawing No. _____
— D—1

ROOM FINISH SCHEDULE											
ROOM		FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
NO.	NAME	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
200	AIRLOCK	CONC.	VCT	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	—
201	WAITING ROOM	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
201	CONFERENCE ROOM	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
203	NOT USED										
204	RECEPTION AREA	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
205	TESTING ROOM	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
206	WORK ROOM	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
207	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
208	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
209	CLOSET	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
210	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
211	CLOSET	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
212	CORRIDOR	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
213	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
214	CORRIDOR	CONC.	EXIST VCT	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
215	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
216	SUPPLY ROOM	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
217	CONFERENCE ROOM	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
218	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
219	CORRIDOR	CONC.	EXIST VCT	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
220	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
221	OFFICE	CONC.	CARPET	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
222	SUPPLY CLOSET	CONC.	EXIST VCT	VINYL	FACT.	GYP. BD	PAINT	2X2	FACT.	EXISTING	
223	BREAK ROOM	CONC.	EXIST CT	CT	EXISTING	CMU	PAINT	2X2	FACT.	EXISTING	

ROOM FINISH NOTES:

01. FACT. INDICATED IN SCHEDULE STANDS FOR FACTORY FINISH (COLOR & TEXTURE TO BE SELECTED BY OWNER).
02. CONC. INDICATED IN SCHEDULE STANDS FOR EXISTING CONCRETE TO REMAIN.
03. VCT INDICATED IN SCHEDULE STANDS FOR EXISTING VINYL COMPOSITE TILE TO REMAIN.
04. CARPET INDICATED IN SCHEDULE STANDS FOR NEW 26 OZ. GLUE DOWN CARPET.
05. VINYL INDICATED IN SCHEDULE STANDS FOR NEW VINYL COVE BASE.
06. GYP. BD. INDICATED IN SCHEDULE STANDS FOR 5/8" GYPSUM WALL BOARD ON NEW PARTITIONS.
07. CMU INDICATED IN SCHEDULE STANDS FOR EXISTING CONCRETE MASONRY UNITS.
08. PAINT INDICATED IN SCHEDULE STANDS FOR ONE COAT PRIMER & TWO FINISH COATS ON NEW PARTITIONS. TWO COATS PAINT ON EXISTING WALLS.
09. 2X2 INDICATED IN SCHEDULE STANDS FOR NEW ACOUSTIC CEILING TILE.

DOOR SCHEDULE													
DOOR								FRAME		HWDRE	SIGNAGE	THRESHOLD	REMARKS
NO.	TYP.	WIDTH	HEIGHT	THICK.	CONST.	MAT.	FINISH	MAT.	FINISH				
200A	A	3'-0"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	I	HW-1	EXISTING	EXISTING
200B	A	3'-0"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	I	HW-1		EXISTING
200C	A	3'-0"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	I	HW-1		EXISTING
201	A	3'-0"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	II	HW-7		
202	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-2		EXISTING
205	B	3'-0"	6'-8"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-5		
206	B	3'-0"	6'-8"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-4		EXISTING
207	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-6		
208	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-6		
209	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-4		EXISTING
210	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-6		
211	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-4		EXISTING
213	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-6		
214	A	3'-8"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	I	HW-5		EXISTING
215	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-3		EXISTING
216	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-4		EXISTING
217	A	3'-0"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	I	HW-1		EXISTING
218	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	I	HW-3		EXISTING
219	A	3'-0"	7'-0"	1-3/4"	STFT	GLASS	FACT	ALUM	FACT	I	HW-7		
220	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-6		
221	B	3'-0"	7'-0"	1-3/4"	SC	WOOD	STAIN	HM	PAINT	II	HW-6		
222A	D	3'-0"	7'-0"	1-3/4"	HM	STEEL	PAINT	HM	PAINT	III	HW-1		EXISTING
222B	D	2'-8"	6'-8"	1-3/4"	HM	STEEL	PAINT	HM	PAINT	III	HW-1		EXISTING
222C	D	2'-8"	6'-8"	1-3/4"	HM	STEEL	PAINT	HM	PAINT	III	HW-1		EXISTING
222D	D	2'-8"	6'-8"	1-3/4"	HM	STEEL	PAINT	HM	PAINT	III	HW-1		EXISTING
223	D	3'-0"	7'-0"	1-3/4"	HM	STEEL	PAINT	HM	PAINT	III	HW-2		EXISTING

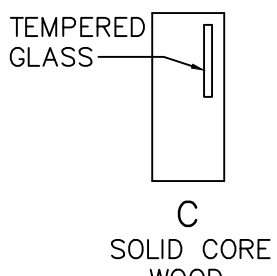
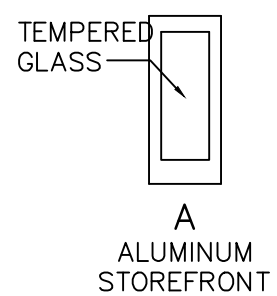
DOOR SCHEDULE NOTES:

01. ALL NEW DOOR HARDWARE SHALL BE ADA COMPLIANT W/ LEVER TYPE HANDLES.
02. FACT. INDICATED IN SCHEDULE STANDS FOR FACTORY.
03. SC INDICATED IN SCHEDULE STANDS FOR SOLID CORE.
04. HM INDICATED IN SCHEDULE STANDS FOR HOLLOW METAL.

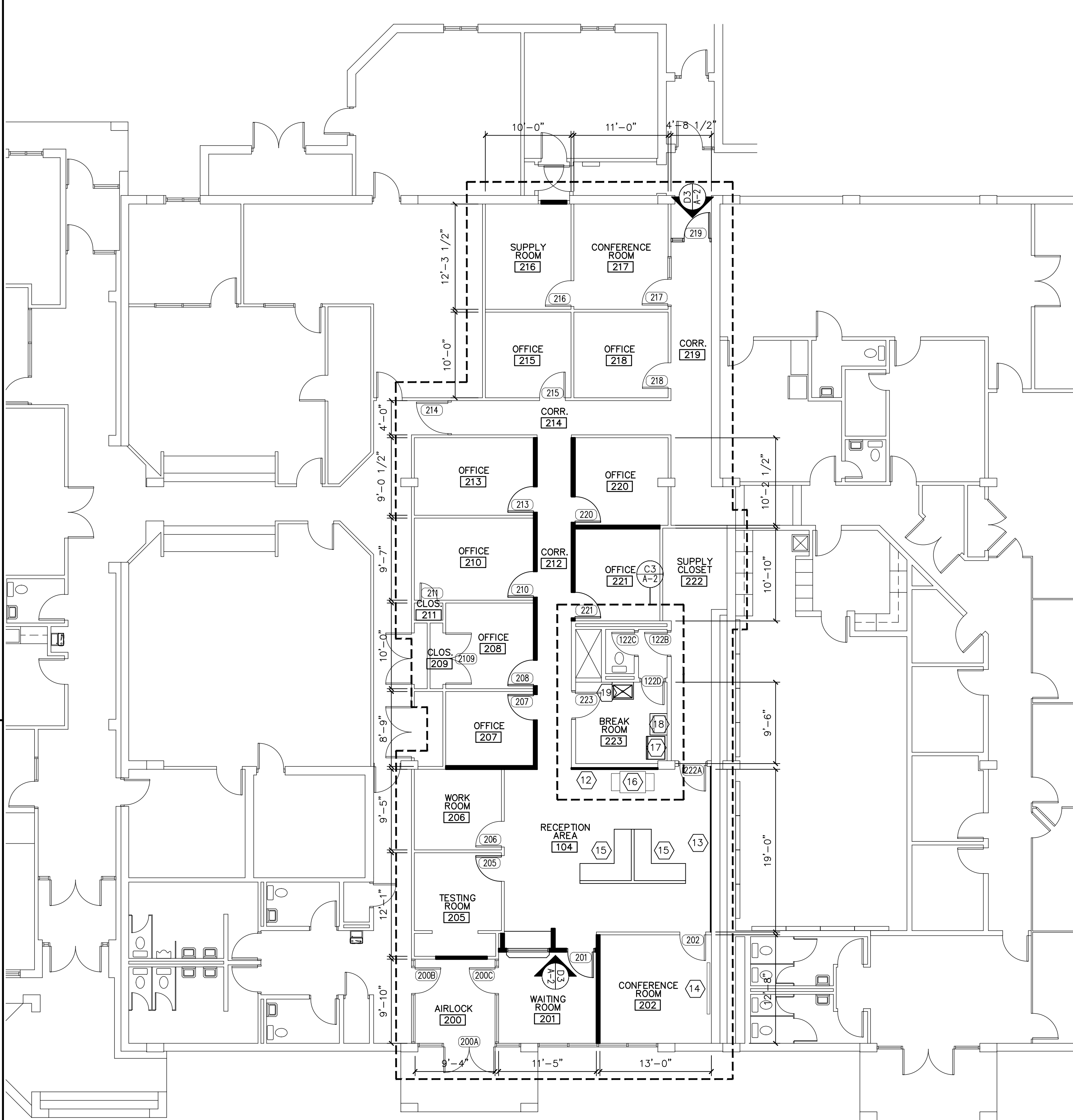
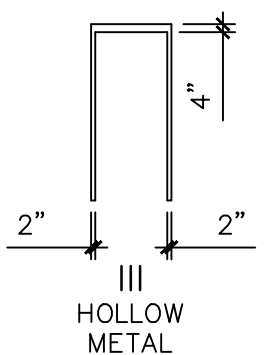
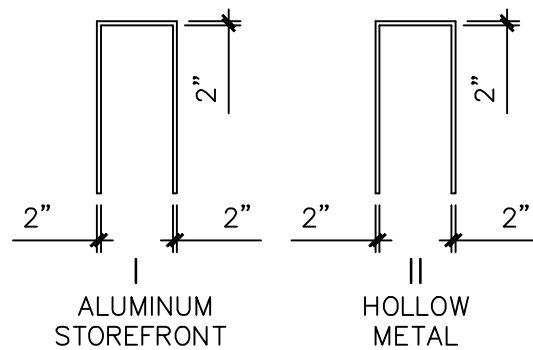
HARDWARE SCHEDULE:

HW-1	EXISTING TO REMAIN.
HW-2	REPLACEMENT PASSAGE LATCH W/ LEVER HANDLES.
HW-3	REPLACEMENT OFFICE LOCKSET W/ LEVER HANDLES.
HW-4	REPLACEMENT STORAGE LOCKSET W/ LEVER HANDLES.
HW-5	EXISTING HARDWARE TO REMAIN. NEW ACCESS CONTROL BY OWNER.
HW-6	3 HINGES, OFFICE LOCKSET W/ LEVER HANDLES, SILENCERS, WALL BUMPER.
HW-7	3 HINGES, EXT. PULL / INT. PANIC BAR, CLOSER, SILENCERS, WALL BUMPER, PREP FOR CONTROL ACCESS BY OWNER.

DOOR TYPES:



FRAME TYPES:



D3 PROPOSED FLOOR PLAN

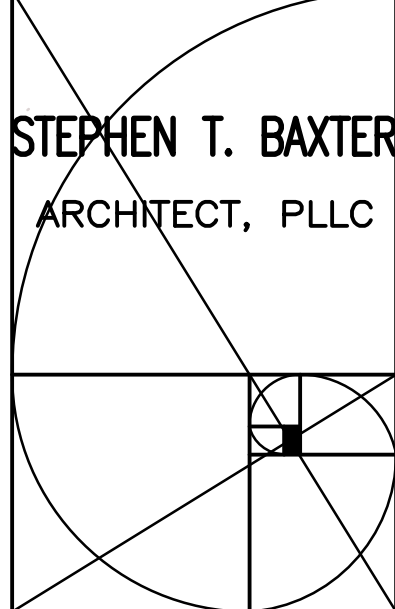
A-1 SCALE: 1/8"=1'-0"

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION & FIELD VERIFYING ALL EXISTING CONDITIONS. CONTRACTOR SHALL REVIEW ALL CONST. DOCUMENTS (ALL DISCIPLINES) PRIOR TO THE START OF CONST. & REPORT ANY DISCREPENCIES TO THE ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE NOMINAL UNLESS OTHERWISE INDICATED.
- ALL DOORS IN NEW WALLS SHALL HAVE A 4" JAMB @ THE HINGE SIDE, UNLESS OTHERWISE NOTED.
- IN ALL CASES MAINTAIN A 18" CLEAR SURFACE ADJACENT TO LATCH ON PULL SIDE OF DOORS & AN 12" CLEAR SURFACE ADJACENT TO LATCH ON PUSH SIDE OF DOORS IF DOOR IS PROVIDED WITH A CLOSER.
- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL JURISDICTION'S REGULATIONS AND THE NC STATE BUILDING CODES.
- MOUNT ROOM IDENTIFICATION & DIRECTIONAL SIGNAGE WITH RAISED CHARACTERS & BRAILLE 60" AFF TO THE CENTER OF SIGN ON THE LATCH SIDE OF DOORS.
- FIELD VERIFY ALL DIMENSIONS.
- PROVIDE ADEQUATE BLOCKING FOR ALL WALL MOUNTED EQUIP.
- PROVIDE ABC FIRE EXTINGUISHER(S) AS REQUIRED BY NCSBC, VERIFY SIZE, TYPE, QUANTITY AND LOCATIONS WITH LOCAL FIRE MASHALL PRIOR TO INSTALLATION.
- PROVIDE BUILDING ADDRESS NUMBERS TO MATCH EXISTING BUILDING AND PER LOCAL FIRE MARSHAL.
- PROVIDE KNOX BOX PER LOCAL FIRE DEPT. DIRECTION.
- INSTALL 5/8" GYP. BD. OVER NEW VERTICAL 1 5/8" METAL STUD FRAMING @ 16" O.C.
- INSTALL 5/8" GYP. BD. OVER EXISTING RACO PARTITION.
- NEW FLAT SCREEN TV BY OWNER.
- NEW CUBICLE BY OWNER.
- NEW COPY MACHINE BY OWNER.
- NEW REFRIGERATOR BY OWNER.
- NEW MICROWAVE BY OWNER.
- NEW HAND SOAP AND PAPER TOWEL DISPENSER BY OWNER.

WALL LEGEND:

- INDICATES THE LIMITS OF THE PROJECT WORK AREA.
- INDICATES NEW 3 5/8" 25 GA. METAL STUD WALLS W/ 5/8" GYP.BD. EACH SIDE, STUDS @ 16" O.C. w/ SOUND BATT INSULATION TO CEILING.
- INDICATES EXISTING ELEMENTS TO REMAIN.
- INDICATED ELEMENTS TO BE REMOVED.

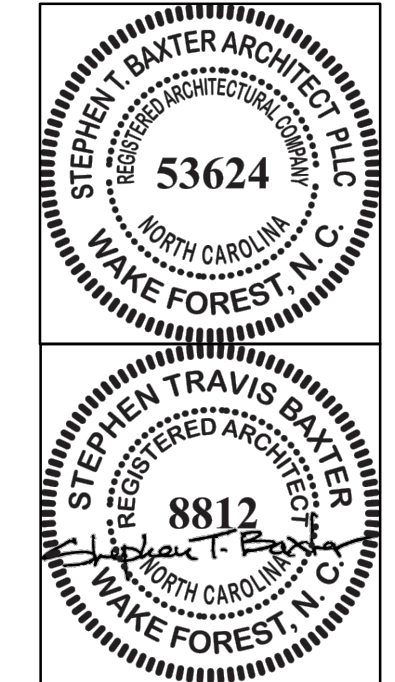


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Phone: (919) 819-1536

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inspector and/or licensed engineer will be the
responsibility of the consumer if required. Nominal
dimensions may be used. Do not scale drawings.

Seals



Sealed Date: 10/28/22
Consultants

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No.	Revision	Date
F	For Permitting & Construction	10/28/2022
E	Design Development	10/19/2022
D	Design Development	10/09/2022
C	Design Development	09/30/2022
B	Design Development	09/25/2022
A	Existing Conditions	09/07/2022
No.	Issued	Date

22030 A-1.dwg STB
File Name: Drawn By

Client/ Project

Granville County
DSS CHILD SERVICES
INTERIOR ALTERATION
143 Williamboro St., Oxford, NC 27565

Sheet Title
PROPOSED
FLOOR PLAN

Project No. 22030 Scale
Revision AS NOTED
Drawing No. A-1

STEPHEN T. BAXTER
ARCHITECT, PLLC

8133 Holly Forest Road
Wake Forest, North Carolina 27587
Phone: (919) 819-1536

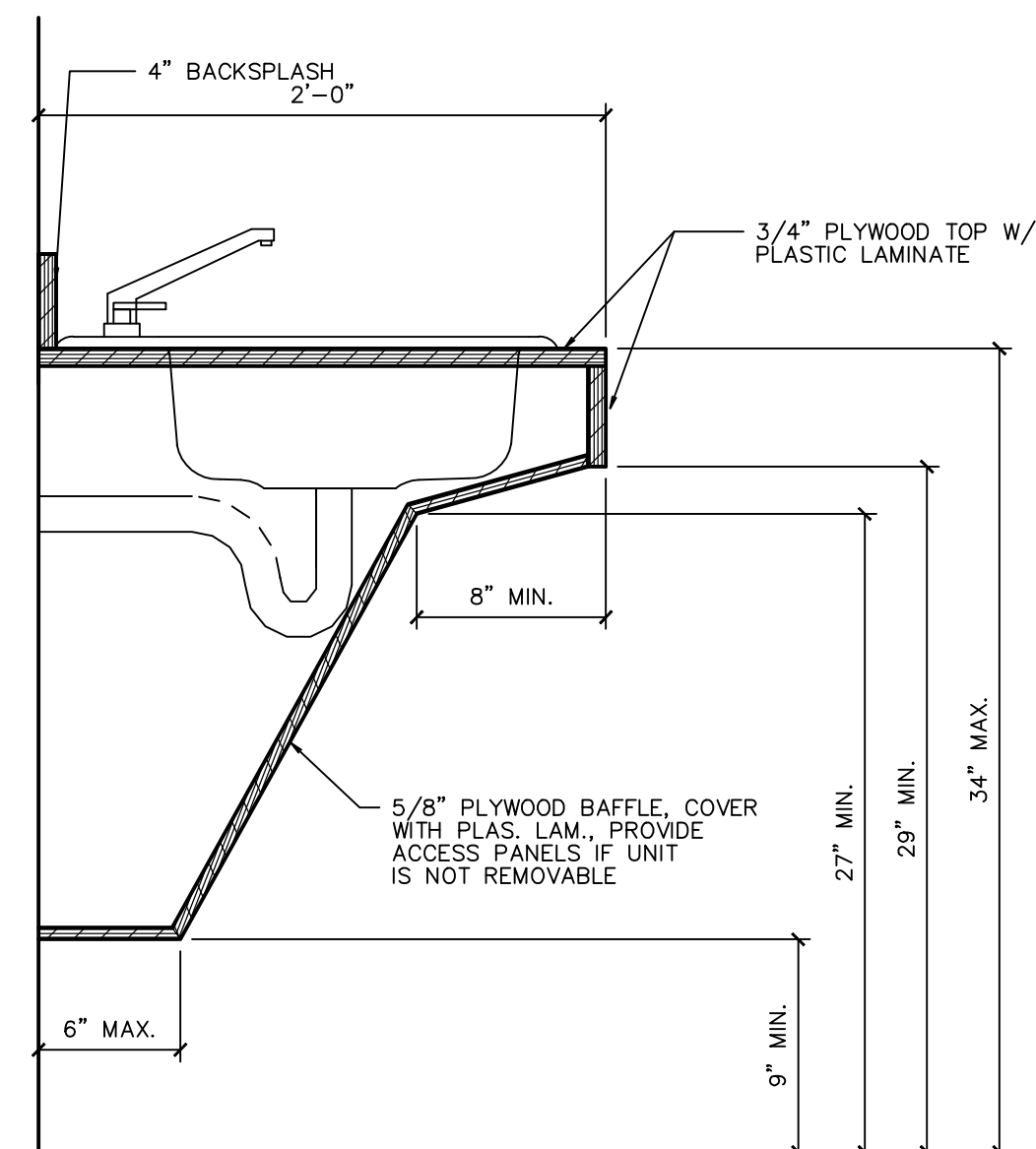
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Seals

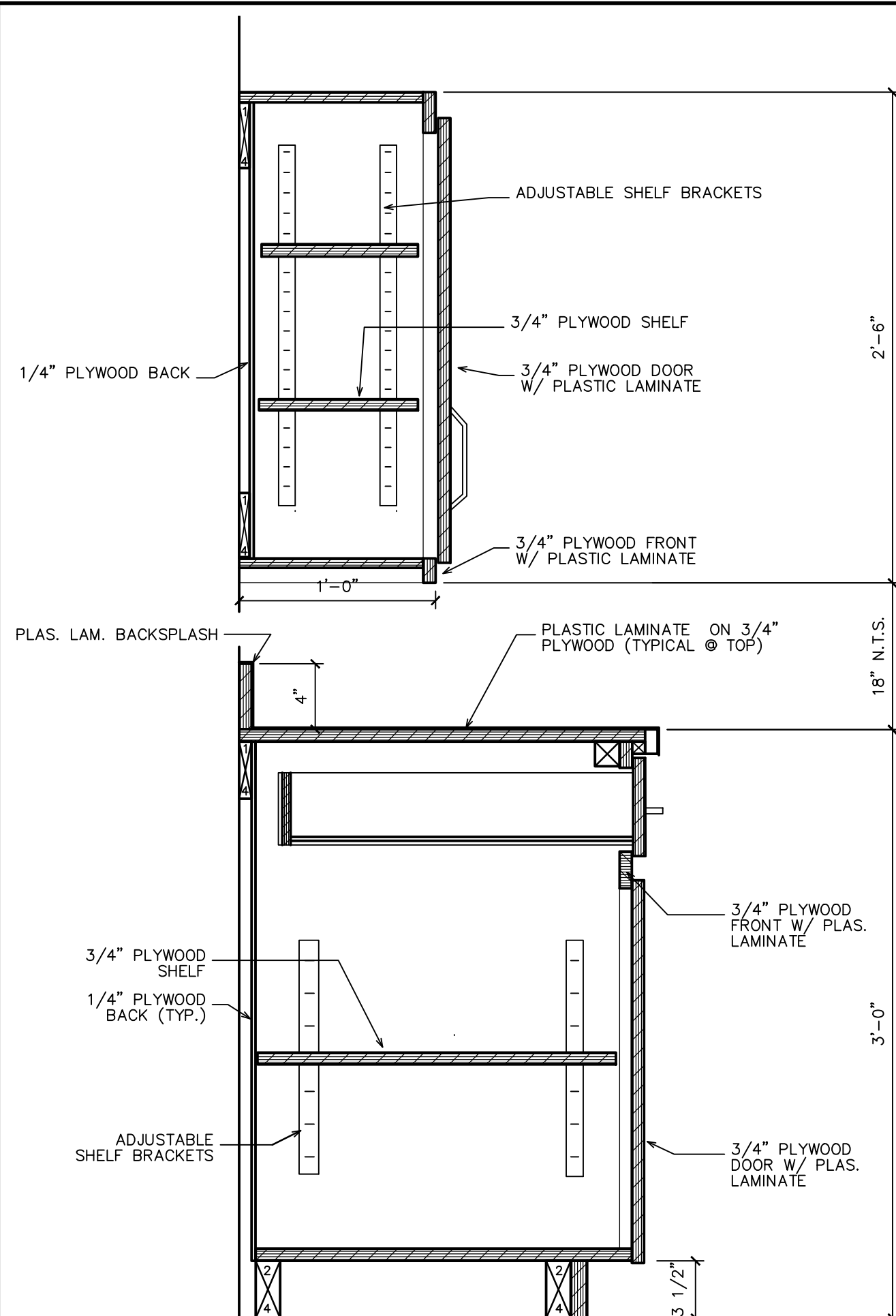
PRELIMINARY
NOT FOR CONSTRUCTION

Sealed Date: 00/00/00
Consultants



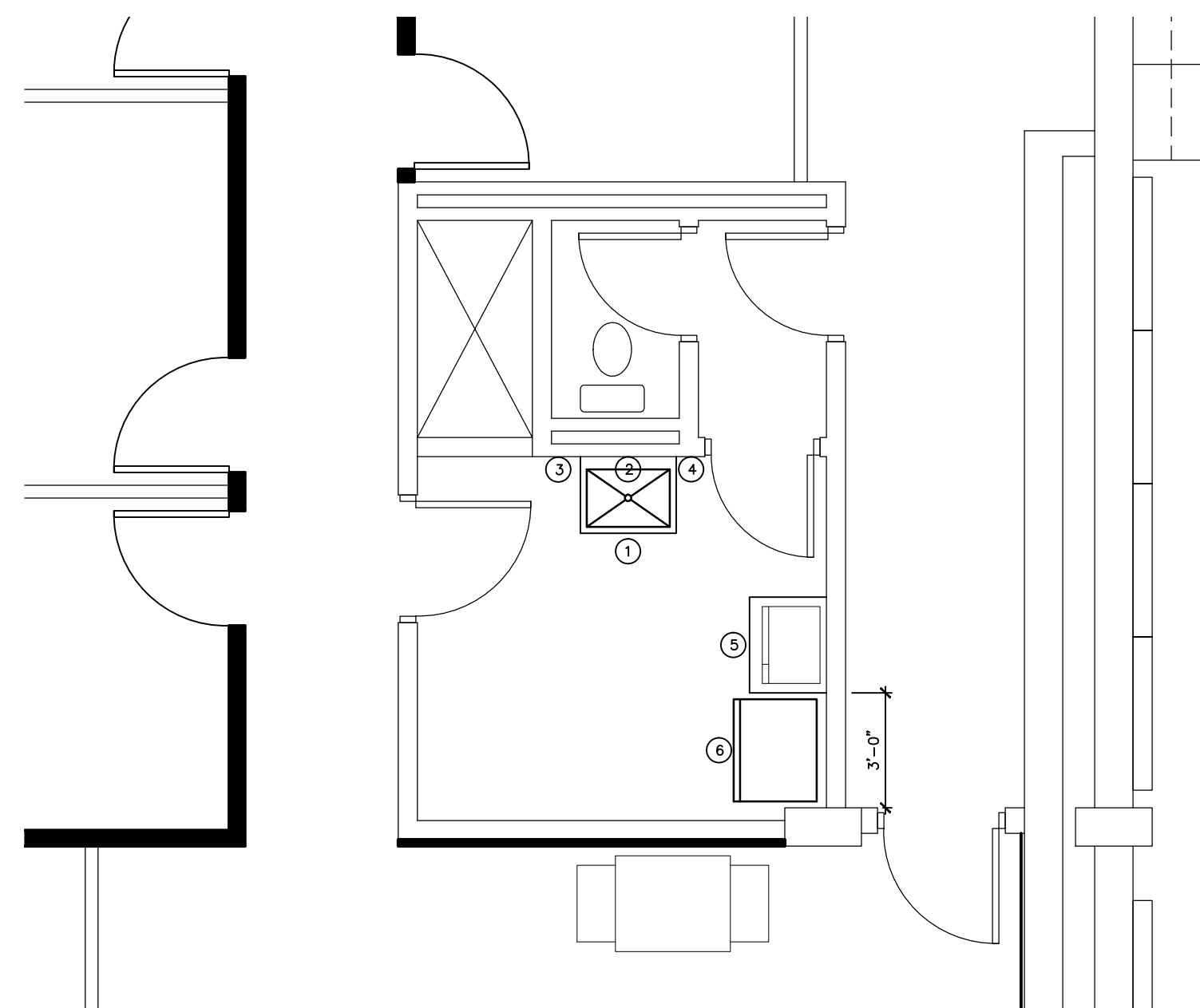
B1 HC ACCESSIBLE SINK BASE DETAIL

A-2 SCALE: 1 1/2"=1'-0"



B2 BASE & UPPER CASEWORK DETAIL

A-2 SCALE: 1 1/2"=1'-0"

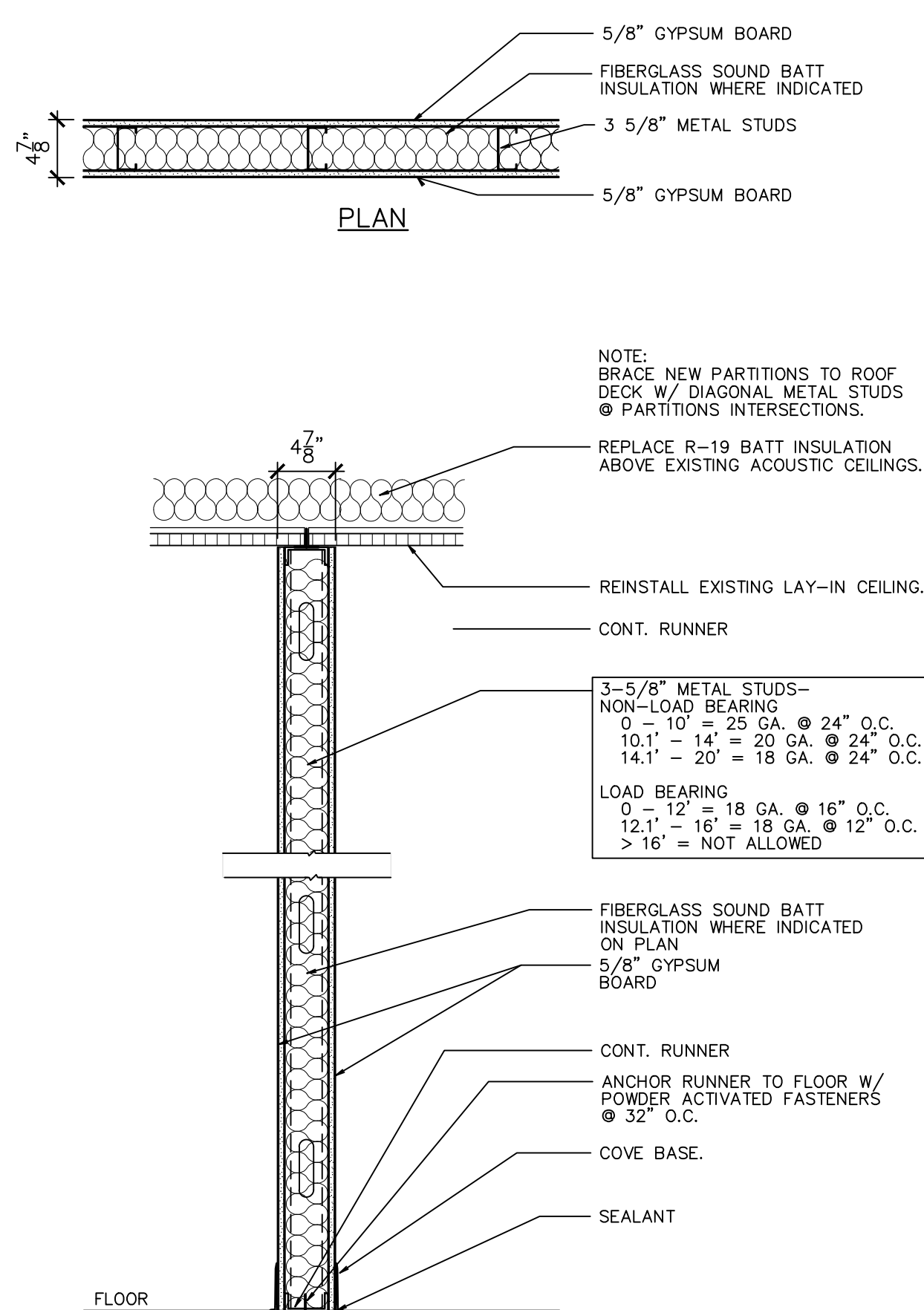


BREAKROOM ACCESSORIES

- ① SINK - STAINLESS STEEL SINGLE BOWL W/ SINGLE FAUCET & LEVER HANDLE.
- ② MIRROR - BRADLEY MODEL 780-2436 OR EQUAL, BOTTOM EDGE @ 40" A.F.F.
- ③ PAPER TOWEL DISPENSER - BRADLEY MODEL 250-15 OR EQUAL SURFACE MTD.
- ④ SOAP DISPENSER - BRADLEY MODEL 6562 OR EQUAL LIQUID SOAP DISPENSER.
- ⑤ MICROWAVE - PROVIDED BY OWNER, INSTALLED BY GC.
- ⑥ REFRIGERATOR - PROVIDED BY OWNER, INSTALLED BY GC.

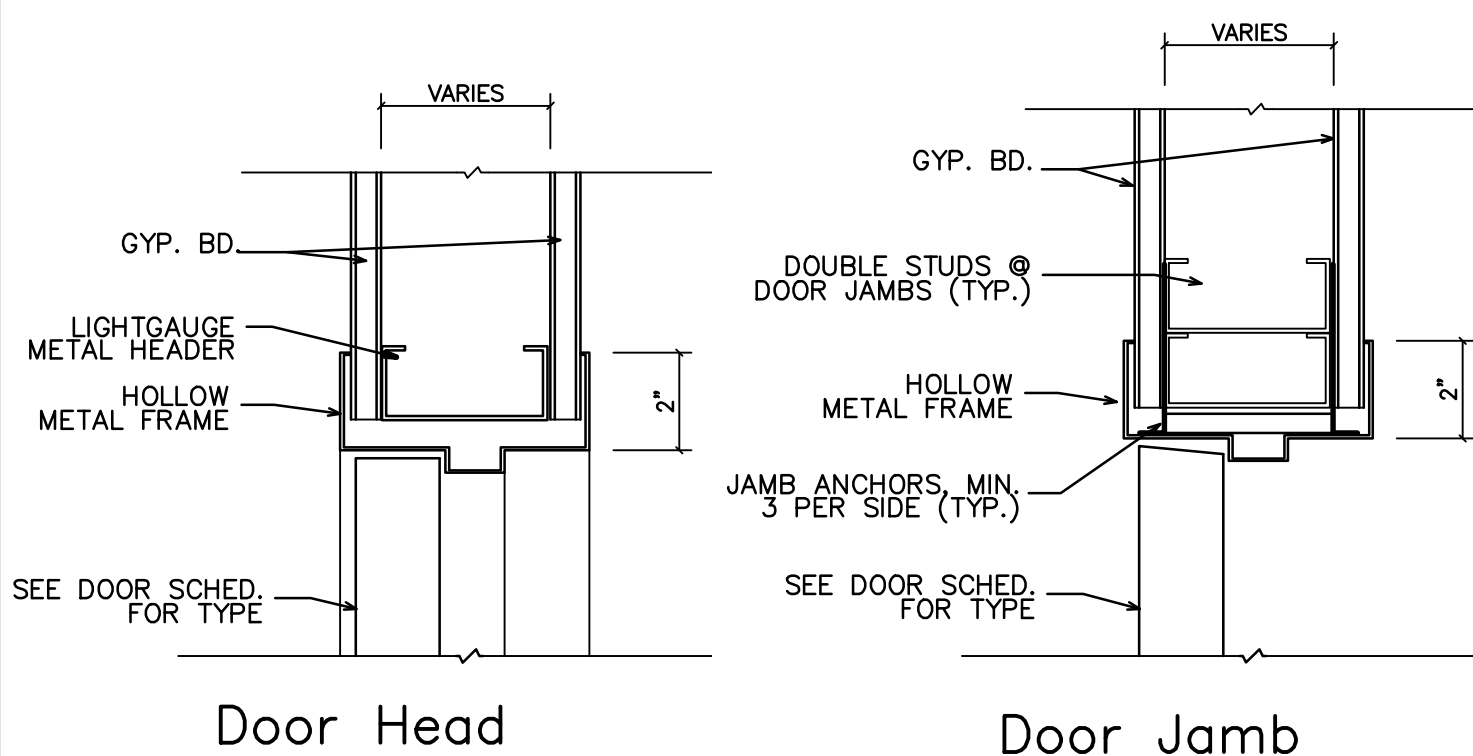
B3 ENLARGED BREAKROOM PLAN

A-2 SCALE: 1/4"=1'-0"



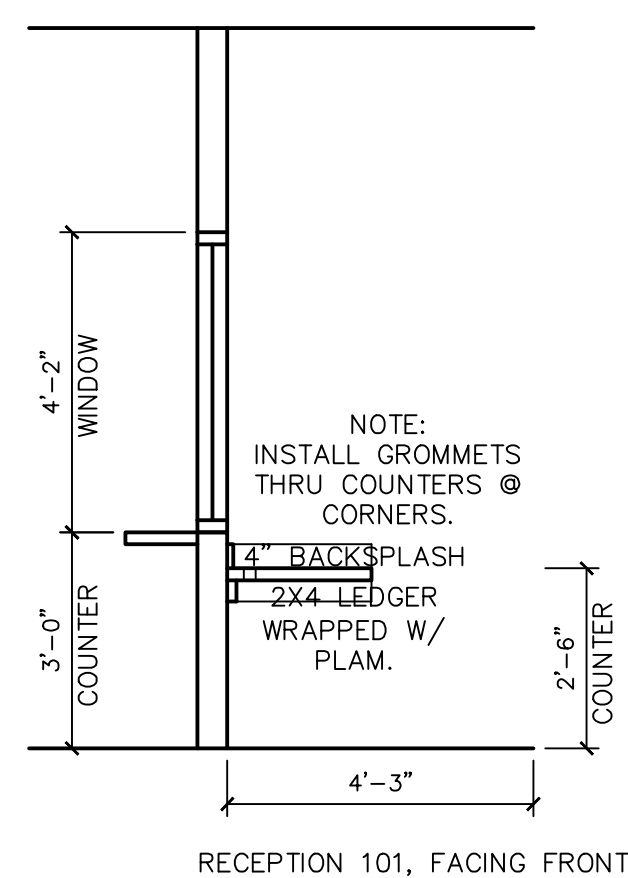
D2 NEW PARTITION DETAIL

A-2 SCALE: 1"=1'-0"



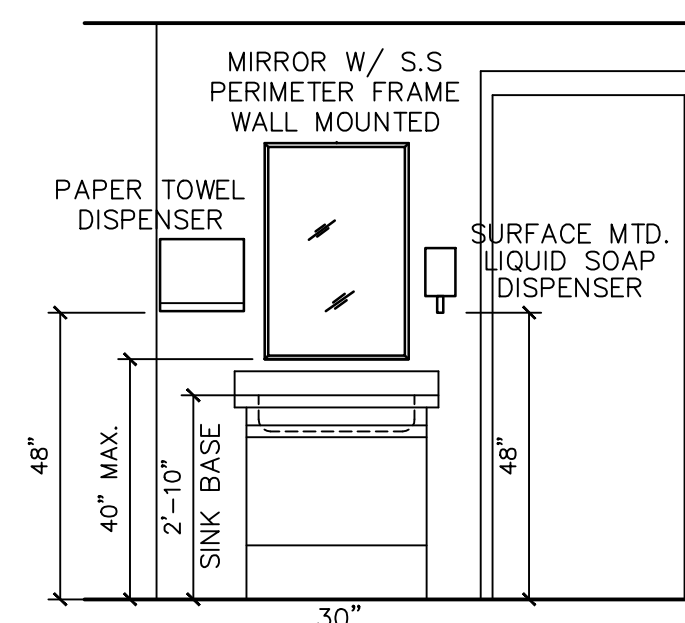
C2 NEW DOOR FRAME DETAILS

A-2 SCALE: 3"=1'-0"

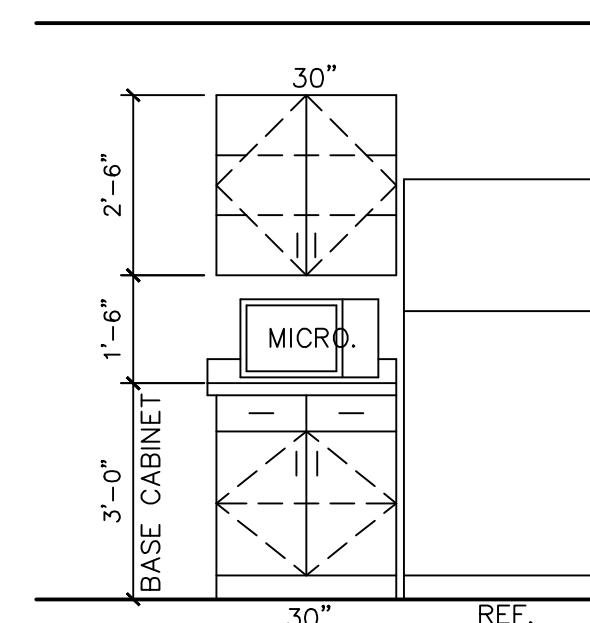


D2 SECTION THRU RECEPTION COUNTER

A-2 SCALE: 3/8"=1'-0"



CASEWORK @ SINK



CASEWORK @ REFRIGERATOR

CASEWORK GENERAL NOTES:

ALL CASEWORK TO MEET OR EXCEED ARCHITECTURAL WOODWORK INSTITUTE STANDARDS, "CUSTOM GRADE".

LAG SCREW CASEWORK DIRECTLY IN TO EXISTING MASONRY WALLS.

ALL CASEWORK EXTERIOR FINISHES TO BE PLASTIC LAMINATE.

INTERIOR FINISHES MAY BE MELAMINE.

INCLUDE 4" BACK SPLASHES WHERE INDICATED.

PROVIDE ACTUAL MATERIAL SAMPLES FOR COLOR SELECTION BY OWNER.

HARDWARE TO BE SATIN CHROME FINISH.

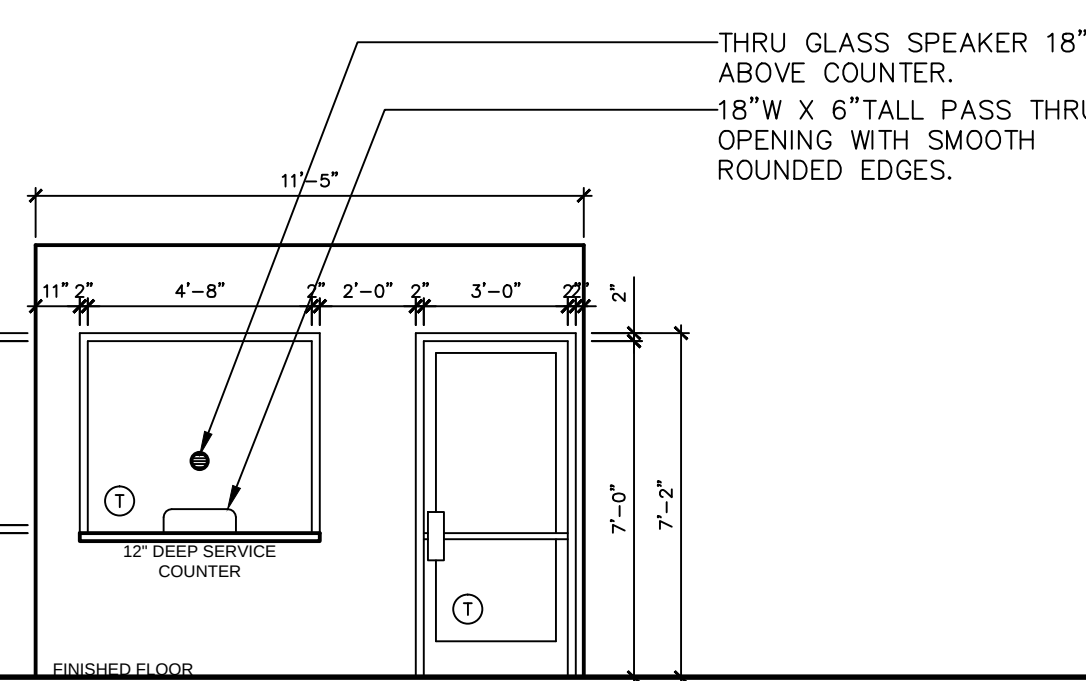
FOLLOW CASEWORK MANUFACTURER'S INSTALLATION GUIDELINES.

FIELD VERIFY ALL DIMENSIONS.

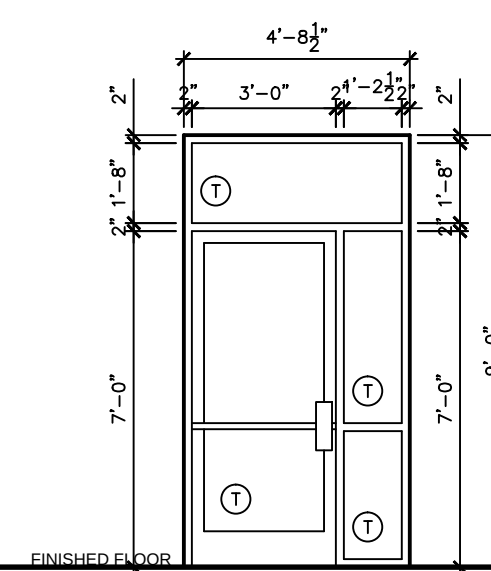
APPLIANCES & DISPENSERS TO BE PROVIDED BY OWNER, INSTALLED BY GC.

C3 NEW CASEWORK @ BREAKROOM 223

A-2 SCALE: 3/8"=1'-0"



INTERIOR ALUMINUM
STOREFRONT @ RECEPTION
COUNTER / DOOR 201



INTERIOR ALUMINUM
STOREFRONT @
DOOR 218

ALUM. STOREFRONT NOTES:

① = TEMPERED SINGLE

PANE GLAZING.

FIELD VERIFY ALL DIMENSIONS

& CONDITIONS.

DARK BRONZE ALUM. FRAMES.

PREF. DOORS FOR CONTROL

ACCESS.

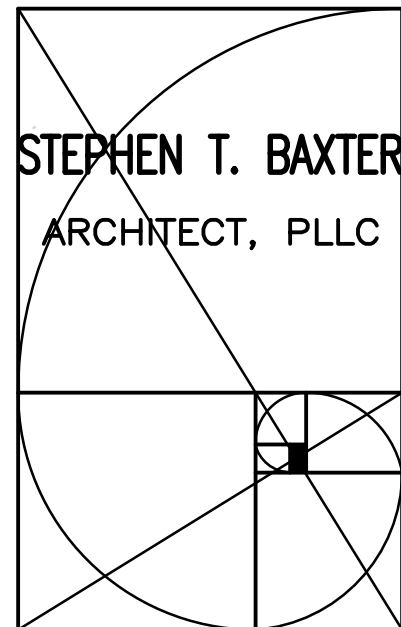
No.	Revision	Date
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No.	Revision	Date
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Client/ Project
Cornerstone Construction
NC DENTAL ASSOC.
INTERIOR ALTERATION

1600 Evans Road, Cary, NC 27513
Sheet Title
INTERIOR ELEVATIONS
& DETAILS

Project No. 22003
Revision
Scale
AS NOTED
Drawing No.
A-2

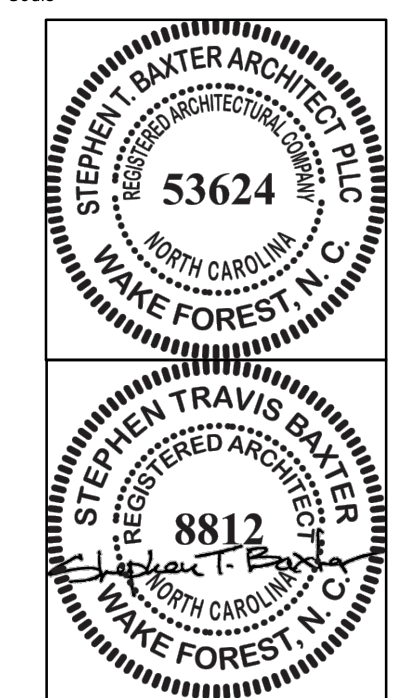


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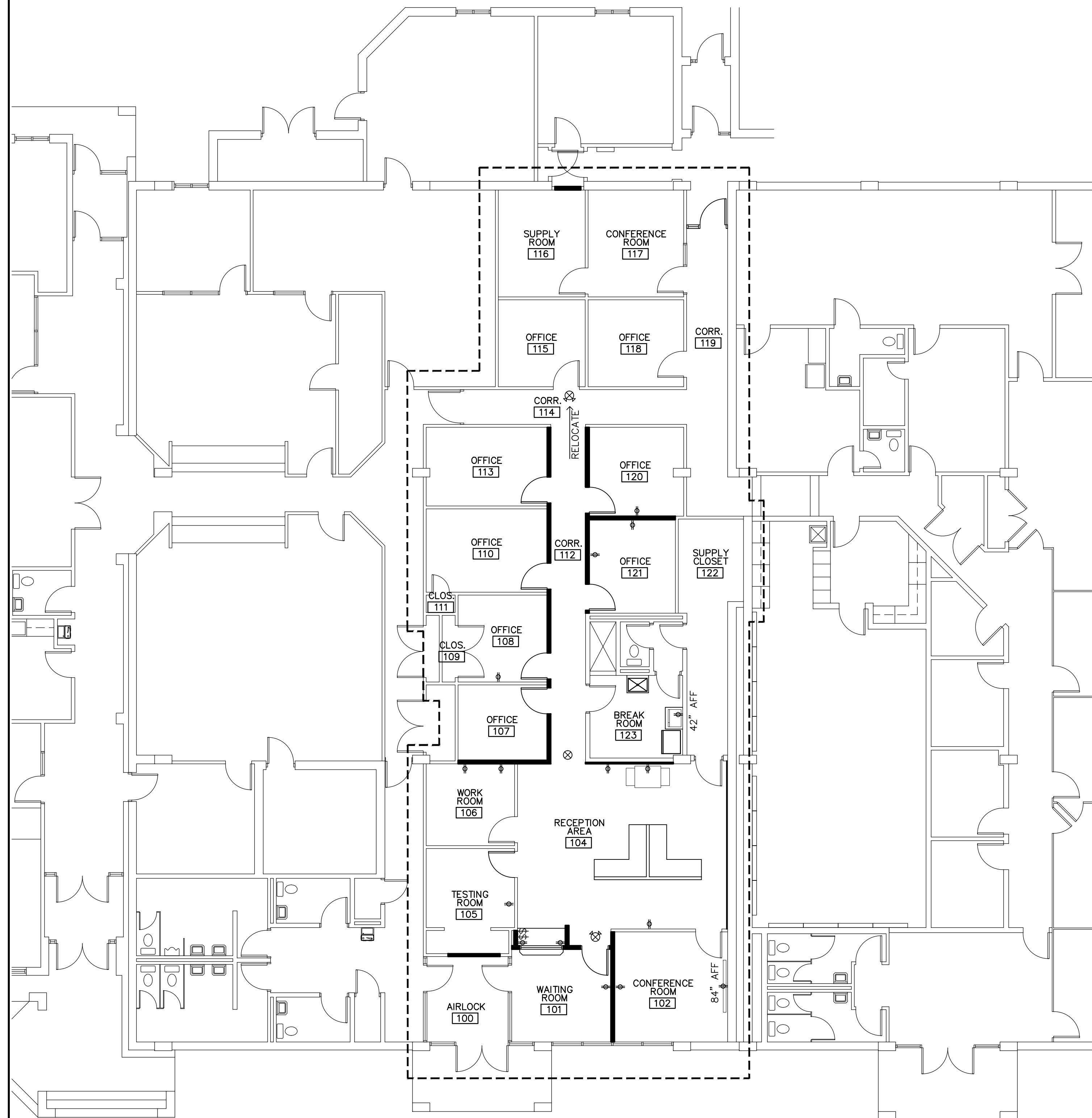
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Seals



Sealed Date: 10/28/25

Consultants



D3 PROPOSED ELECTRICAL PLAN

E-1 SCALE: 1/8"=1'-0"

CEILING LEGEND

- \$ RELOCATED LIGHT SWITCH.
- ⦿ NEW RECEPTACLE TIED TO EXISTING CIRCUIT ABOVE CEILING.
- ⊗ NEW POWER/DATA POLE TO EXISTING CIRCUIT ABOVE CEILING.
- ⊗ NEW EXIT SIGN.
- ⊗ NEW EXIT SIGN WITH EMERGENCY LIGHTS.

WALL LEGEND:

1. - - - - - INDICATES THE LIMITS OF THE PROJECT WORK AREA.
2. ■■■■■ INDICATES NEW 3 5/8" 25 GA. METAL STUD WALLS W/ 5/8" GYP.BD. EACH SIDE, STUDS @ 16" O.C. w/ SOUND BATT INSULATION TO CEILING.
3. === INDICATES EXISTING ELEMENTS TO REMAIN.
- - - - - INDICATED ELEMENTS TO BE REMOVED.

[illegible]

No.	Revision	Date
F	For Permitting & Construction	10/28/20
E	Design Development	10/19/20
D	Design Development	10/09/20
C	Design Development	09/30/20
B	Design Development	09/25/20
A	Existing Conditions	09/07/20
No.	Issued	Date

22030 E-1.dwg ST
File Name: Drawn By:

Client/ Project	
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Granville County

GRANVILLE COUNTY

GRANVILLE COUNTY
DCS CHILD SERVICES

DSS CHILD SERVICES

INTERIOR ALTERATION

143 Williamsboro St. Oxford, NC 27565

145 Williamsboro St., Oxford, NC 27505

Sheet Title

| PROPOSED

ELECTRICAL PLAN

ELECTRICAL PLAN

Project No.	Scale
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220.30 AS NOTED

LESS	NO. NOTED
_____	_____
_____	_____

Revision	Drawing No.
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1 - F-2

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Request For Bids

Building Renovations & Alterations
Granville County Department of Social Services, Child Services Interior Alterations
143 Williamsboro Street, Oxford, NC 27565

Sealed proposals will be received until 3:00 PM, Tuesday, December 6th, 2022 at the Granville County Development Office; 122 Williamsboro Street, Oxford, NC 27565 for single prime bids.

A Pre-Bid Conference will be held on Wednesday, November 16th, 2022 beginning at 10:00AM at the site, 143 Williamsboro Street, Oxford, NC 27565.

Work included in the project is listed below:

Interior alterations to the existing 3,308 sf space at Granville County Government Complex, 143 Williamsboro Street, Oxford, NC 27522 for the proposed location of the Granville County Department of Social Services, Child Services office in Oxford, NC to include selective demolition, new partitions, doors, finishes, and electrical modifications.

Plans and Project Manual may be obtained electronically by emailing the office of Stephen T. Baxter, Architect PLLC at STBaxter.ARCH@outlook.com. All project documents will be transmitted electronically.

The State Department of Administration requires participation by minority or women-owned businesses according to General Statue 143-128.1(a).

Granville County as owner reserves the right to reject any and all bids for any reason.

Stephen T. Baxter, Architect PLLC
STBaxter.ARCH@outlook.com
(919) 819-1536

Granville County Development Services
Scott Phillips, Director
122 Williamsboro Street
Oxford, NC 27565



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 21, 2022
Title: Proclamations, Resolutions and Legislative Matters

PURPOSE:

This item on the agenda will be used for the introduction of proclamations, resolutions, or legislative matters. It can also be used for the general discussion of related matters.

ACTION TAKEN:



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 29, 2022
Title: **Appointment of Members to Boards, Committees, and Liaison Assignments**

PURPOSE:

To make appointments to boards, committees, and liaison assignments for 2023.

BACKGROUND:

Chair May has provided a proposed list of boards, committees, and liaison assignments for Commissioners for 2023.

ATTACHMENTS:

Proposed List of Boards, Committees, and Liaison Assignments

ACTION TAKEN:

Boards/Committees/Liaison Assignments 2023

District 1 – Commissioner Zelodis Jay

- Board of Equalization and Review
- Digital Infrastructure Planning Committee
- District Health Board
- Emergency Services Committee
- Environmental Affairs Advisory Committee Liaison
- Granville Health System Board of Trustees
- K.A.R.T.S.
- Kerr-Tar Regional COG Board
- Planning Board Liaison
- Solid Waste Liaison
- Water/Sewer Matters Liaison

District 2 – Commissioner Rob Williford

- Audit Review Committee
- Board Of Equalization and Review
- Emergency Services Committee
- Finance Liaison
- Human Relations Commission
- Juvenile Crime Prevention Council
- Opioid Advisory Committee
- Oxford Downtown EDC Board
- Private Industry Council
- Solid Waste Liaison

District 3 – Commissioner Sue Hinman

- Animal Control Advisory Committee Liaison
- Board of Equalization and Review
- DOT Issues
- Franklin-Vance-Warren Opportunity Inc.
- Library Board Liaison
- Parks, Greenways and Recreation Advisory Committee
- Social Services Board
- Staff Appreciation

District 4 – Commissioner Tony Cozart

- Board of Equalization and Review
- Franklin-Vance-Warren Opportunity Inc.
- Granville Health System Board of Trustees
- Human Relations Commission

- Public Safety Liaison
- School Administration Liaison
- Social Services Board
- Staff Appreciation

District 5 – Chair Russ May

- Board Of Equalization and Review
- CAMPO- Executive Board
- Granville Fire Commission
- Planning Board Liaison
- Public Safety Liaison
- Kerr Tar RPO- TAC (Rural Planning Organization-Transportation Advisory Committee)
- School Administration Liaison
- Upper Neuse River Basin Committee
- Vaya Region 4 Board of Directors
- Veteran Affairs Committee Liaison
- Economic Development Advisory Board

District 6 – Vice Chair Tim Karan

- Board Of Equalization and Review
- Digital Infrastructure Planning Committee
- Emergency Services Committee
- Extension Leadership Advisory Council
- Granville Health System Board of Trustees
- Greenways Advisory Council
- Parks, Greenways, And Recreation Advisory Committee
- Opioid Advisory Committee
- SGWASA
- Triangle North Board

District 7 – Commissioner Jimmy Gooch

- Audit Review Committee
- Board of Equalization and Review
- CAMPO Executive Board, Alternate
- Granville Health System Board of Trustees, Ex-Officio
- Opioid Advisory Committee
- Senior Center Advisory Committee Liaison
- SGWASA
- Soil & Water Board Liaison
- Transportation Plan Work Group
- Water/Sewer Matters Liaison



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 30, 2022
Title: Granville Health System Board of Trustees

PURPOSE:

The purpose of the Granville Health System Board of Trustees shall be to determine hospital policies with relation to community needs; to see that proper professional standards are maintained; to coordinate professional interest of the hospital with administrative, financial and community needs; to direct the Chief Executive Officer of the hospital in carrying out policies; and to provide adequate financing and control of expenditures.

The terms of David T. Smith (District 2) and Dawn Omokunde (District 4) expired in December.

BACKGROUND:

Others serving:

Zelodis Jay	District 1
James Lumpkins	District 2
Jim Blaine	District 5 appointed by District 3
Tony W. Cozart	Vice Chairman, District 4
Robert V. "Bobby" Wheeler	District 5
Timothy Karan	District 6
Vacant	Hospital Staff Representative
Jimmy Gooch	Ex-Officio
Dr. Joseph C. Zola	Chief of Staff, Ex-Officio
John Snow	Ex-Officio

ACTION TAKEN:



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 29, 2022
Title: **Granville County Citizens Advisory Committee for Environmental Affairs**

PURPOSE:

To make appointments and/or reappointments to the Granville County Citizens Advisory Committee for Environmental Affairs.

BACKGROUND:

The Environmental Affairs Committee shall have the power to investigate, publicize and report to the Board of Commissioners any activities in Granville County involving threat to any land, water or air resources which are found by the Board to endanger or threaten to endanger the persons and property of citizens of the County. The Board shall serve as the "Eyes and Ears of the Board of Commissioners on any environmental issues."

The terms of Neil Gresham (District 1), Blaine Holmes (District 5) and Byron Currin (Ex-Officio-Soil and Water)

Others serving:	Steve Timberlake	District 2
	Joe Ostby	District 3
	Chad McHenry	District 4
	Mike Wood	District 7 appointed by District 6
	Judy Cheek	District 7
	David Hinton, Ex-Officio	District 2
	Jason Falls	Staff Representative
	Zelodis Jay	Commissioner

ACTION TAKEN:



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 29, 2022
Title: Granville County Library System Board of Trustees

PURPOSE:

To make appointments and/or reappointments to the Granville County Library System Board of Trustees.

BACKGROUND:

The function and duties of the Board of Trustees of the Granville County Library System are those as set forth in the General Statutes of the State of North Carolina. They include, but are not limited to the appointment of a Director of Libraries, the adoption of policies, rules and regulations for the governance of the library in the best interest of the citizens of the community, the authorization of sound fiscal policies and the adoption, and amendment as needed, of the annual budget. As citizens, they advise the Library administration on services to fulfill the library needs of the community, represent the Library to the community and advance support of the Library among funding authorities.

The terms of Lynn Allred (District 1) and Anne Payne (District 5) expire in January and Athy Robinson (District 6) resigned.

Others serving:	Martha Wrenn	District 2
	Karen Alley	District 7 appointed by 3
	Juanita Rogers	District 4
	Teresa Walker	District 7

ACTION TAKEN:



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 9, 2022
Title: **Orange Street Community Center Board of Trustees**

PURPOSE:

The term of Iris Evans (District 3) expires in December.

BACKGROUND:

The purpose of the Orange Street Community Center Board of Trustees is to operate the Orange Street Community Center pursuant to the terms and conditions of the lease agreement between the Board of Commissioners as Lessor and Board of Trustees as Lessee, to the end that facilities of the Orange Street Community Center will be open to the public for recreational, educational, and other charitable purposes.

Others serving:	Larry Downey	District 1
	Ronnie Norwood	District 1
	Dorothy Hunt	District 2
	Joseph Blair Waldon	District 2
	Carolyn Heggie	District1 appointed by District 3
	Robin Saxton	District 4
	Paula Jones	District 4
	Juanita Rogers	District 4
	Zelodis Jay	Ex-Officio

ACTION TAKEN:



Granville County Senior Services

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Senior Services
Date: December 30, 2022
Title: Senior Services Advisory Committee

PURPOSE:

To make appointments and/or reappointments to the Senior Services Advisory Committee.

BACKGROUND:

The Senior Services Advisory Committee will develop policy, advise of appropriate actions and make recommendations to the County Commissioners. Advisory Committee members shall be appointed by the Board of County Commissioners and there shall be at least one representative from each area of the County including Oxford, Stovall/Bullock, Antioch, Oak Hill, Butner/Creedmoor, and Stem.

The terms of Bessie Bailey (District 1), JoAnn Deshane (District 5 appointed by 3), Harriet Morton (District 4), and Vickie Smoak (District 7) expire in January. They are all eligible for reappointment.

Others serving:	Rev. Leroy Anderson	District 1
	Hattie Jean Overton	District 2
	Kathy Wolford	District 2
	Betty Crews	District 2
	Laverta Cooper	District 4
	Dorothy Lyon	District 4
	Carol Jo Harris	District 5
	Richard Lyon	District 6

ACTION TAKEN:



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 29, 2022
Title: **County Manager's Report**

PURPOSE:

Any matters as needed by the County Manager.

ACTION TAKEN:



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: County Attorney
Date: December 29, 2022
Title: **County Attorney's Report**

PURPOSE:

Any matters as needed from the County Attorney.

ACTION TAKEN:



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 29, 2022
Title: **Presentations by County Board Members**

PURPOSE:

Board members will make comments, give reports, and make announcements.

1. Commissioner Zelodis Jay
2. Commissioner Rob Williford
3. Commissioner Sue Hinman
4. Commissioner Tony W. Cozart
5. Commissioner Timothy Karan
6. Commissioner Jimmy Gooch
7. Chair Russ May

ACTION TAKEN:



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 19, 2022
Title: **Any Other Matters**

PURPOSE:

To consider any other matters as needed.

ACTION TAKEN:



Granville County Administration

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 19, 2022
Title: **Closed Session as allowed by G.S. 143-318.11(a)(4)- Economic Development**

PURPOSE:

To discuss matters relating to the location or expansion of industries or other businesses in the area served by the public body, including agreement on a tentative list of economic development incentives that may be offered by the public body in negotiations.

ACTION TAKEN:



Granville County

104 Belle Street
Oxford, NC 27565
(919) 693-5240

To: Board of Commissioners
From: Debra Weary
Department: Administration
Date: December 30, 2022
Title: Closed Session as allowed by G. S. 143-318.11(a)(6) - Personnel

BACKGROUND:

To consider the qualifications, competence, performance, character, fitness, conditions of appointment, or conditions of initial employment of an individual public officer or employee or prospective public officer or employee; or to hear or investigate a complaint, charge, or grievance by or against an individual public officer or employee.

ACTION TAKEN: